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**CITY OF KELOWNA**

**MEMORANDUM**

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**DATE:** May 12, 2009

**TO:** City Manager

**FROM:** Land Use Management Department

**APPLICATION NO.** HAP09-0005

**OWNER:** City of Kelowna

**AT:** 1825 Richter Street

**APPLICANT:** Hugh Bitz (Architect)

**PURPOSE:** TO OBTAIN A HERITAGE ALTERATION PERMIT FOR VARIOUS FOUNDATION AND WATERPROOFING IMPROVEMENTS.

**EXISTING ZONE:** P2 – Education & Minor Institutional

**REPORT PREPARED BY:** Alec Warrender

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1.0 RECOMMENDATION

THAT Council authorize the issuance of Heritage Alteration Permit No. HAP09-0005; for Lot 7 & 8, Block 63, District Lot 138, ODYD, Plan 262 Except Plan 1000, Lots 44, 45, 46, 47 & 48 District Lot 138, ODYD, Plan 1000 located at 1825 Richter Street, Kelowna, B.C., subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. The applicant should consider ways to preserve the existing mature vegetation;
4. There be a no net loss of trees or onsite vegetation.

2.0 SUMMARY

To obtain a Heritage Alteration Permit for various foundation and waterproofing improvements.

3.0 COMMUNITY HERITAGE COMMISSION

The Community Heritage Commission (CHC) passed the following recommendation at their meeting of May 7<sup>th</sup>, 2009:

THAT the Community Heritage Commission support Heritage Alteration Permit Application No. HAP09-0005, for 1825 Richter Street, by Hugh Bitz (Architect), to obtain a Heritage Alteration Permit for various foundation and waterproofing improvements as defined by drawings attached to the application.

#### 4.0 BACKGROUND

Central Elementary is the imposing and classical two-storey, red brick Central Elementary School, built in 1913 at 1825 Richter Street in Kelowna's South Central Neighbourhood. This building has significant heritage value as a result of both its high quality, Beaux-Arts architectural presence and its role as a symbol of a progressive and stable public education system in the community.

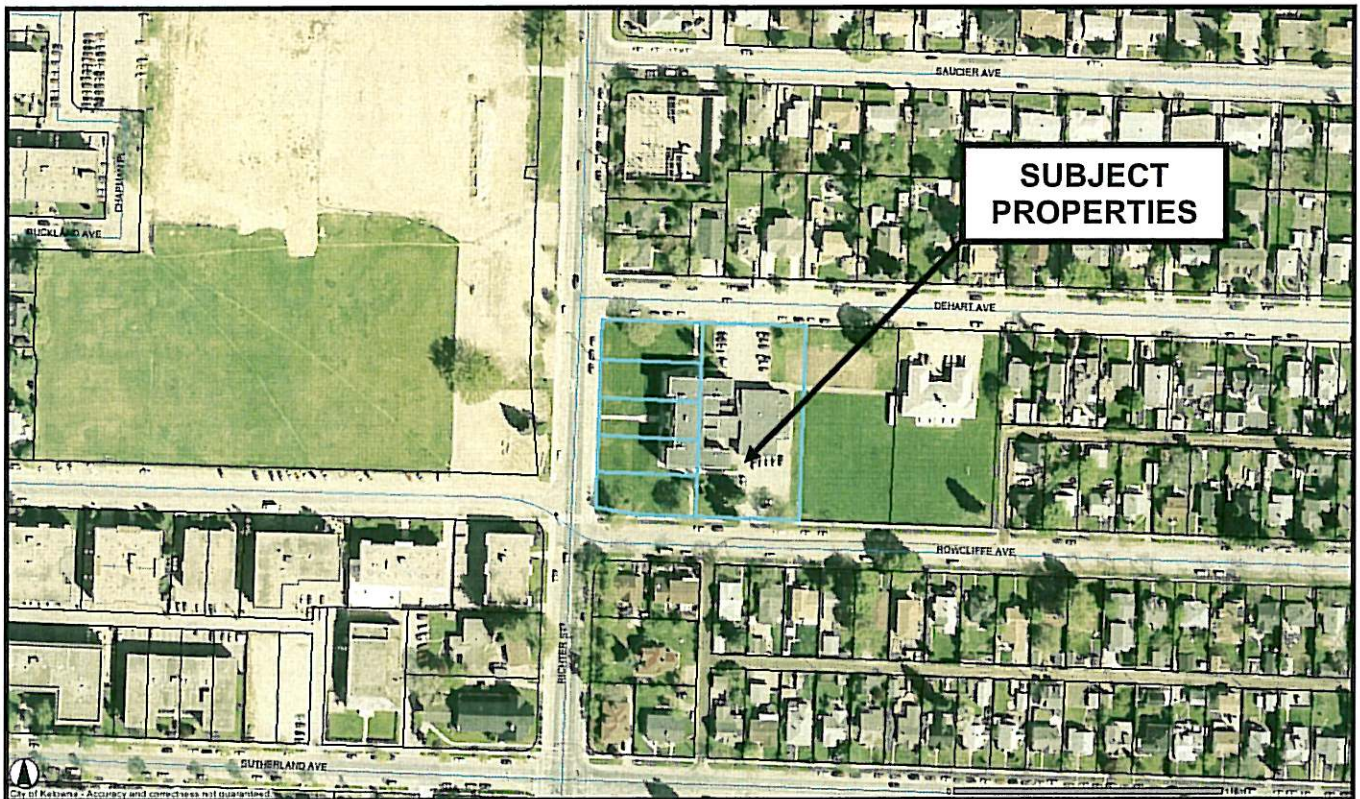
#### 5.0 THE PROPOSAL

The subject property is located on the City of Kelowna's Heritage Register and is subject to Heritage Designation Bylaw #8805 (2002), which protects its structure and exterior appearance. The scope of work proposed in this HAP application includes:

- Subsurface drainage including tile and ancillary civil works;
- Painting and minor improvements to the above / below grade building foundation;

#### 5.1 Subject Property Map

1825 Richter Street



## 5.2 Site Context

<i>Direction</i>	<i>Zoning Designation</i>	<i>Land Use</i>
North	RU6 – Two Dwelling Housing	Residential
East	RU6 – Two Dwelling Housing	Residential
South	RU6 – Two Dwelling Housing	Residential
West	P2 – Education & Minor Institutional	Former KSS Site

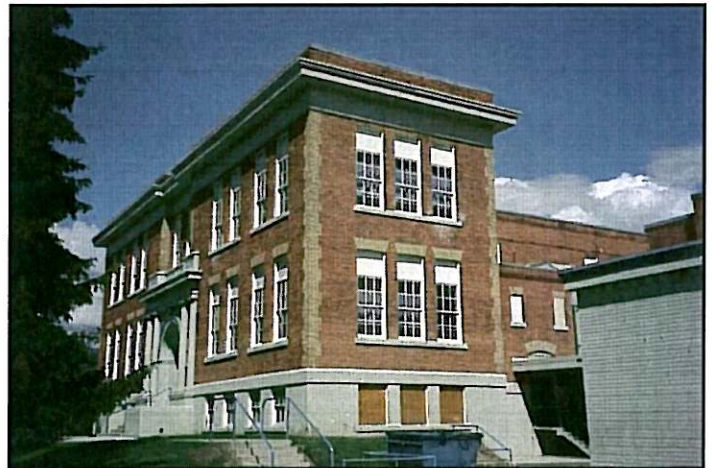
## 6.0 CANADIAN REGISTER OF HISTORIC PLACES

The following is an excerpt from the Canadian Register of Historic Places website regarding the Central Elementary School site:

Designed by architect George E. Nobles of Lethbridge, and built in 1913 by contractor Alfred Ivey, Central Public School was intended to impress. It adopted classical features of the Neoclassical and Georgian Revivals, set within the formality of Beaux-Arts planning. The cost of the two-storey brick building and its furnishings was a high \$75,000. It was set on a raised earth mound on a 4-acre site, the broad front steps flanked by massive columns. It had ten classrooms and an auditorium. The latest amenities were installed: electric lights, running water, and toilets and lavatories in the basement. (There must have been some distrust of such new-fangled devices, since the 1914 Fire Insurance Map shows that the more traditional outhouse buildings were located in the back field, one for each sex, reached by wooden boardwalks from the building.)

### *Character Defining Elements*

- Formal Beaux-Arts-inspired plan, with a recessed central wing, projecting side wings, and columned entries on all axes
- Classical treatment of detail, owing something to the Neoclassical Revival and Georgian Revival, see in features such as the two-storey frontispiece, featuring free-standing columns, attached pilasters, and a pediment; and in the quoins, entablature, arched doorways on the side wings
- Red brick walls with grey stone trim and terra cotta details
- Concrete block foundation
- Symmetrical 5-bay front elevation with a central entrance, and windows in groups of 3/4/2/4/3
- Strong demarcation of the foundation and roof in the horizontal bands and cornice
- Two wings extend forward and back, forming an H-shaped plan
- Wood double-hung windows, with six-over-six panes, stone lintels, and stone sills;
- Brick soldier courses seen at some window lintels
- School yards, typical fields, playgrounds, and landscaping



7.0 TECHNICAL COMMENTS

7.1 Building & Permitting

Building permit required for this proposed project, registered professional to provide engineering schedules for this work.

7.2 Development Engineering

See Attached

8.0 LAND USE MANAGEMENT DEPARTMENT

The property is protected by Municipal Heritage Designation Bylaw No. 8805 which identifies 1825 Richter as a Heritage Site. Heritage Designation requires that no alteration to the exterior of the building or structural change to the exterior of the building can be executed without authorization of a Heritage Alteration Permit.

The proposed alterations to the property allow the building to continue to comply with the current zoning P2, and within the Future Land Use designation of Educational/Major Institutional. The proposed alterations will include below grade envelope improvements to the drain membrane and drain tile. These below grade improvements will also require some above grade improvements to the building foundation; when completed the visible foundation surrounding the building will be painted to match the existing colours and the brickwork will be left untouched. This work is being done to extend the longevity and usefulness of the building. As a heritage site, the vegetation on the property is significant. Minimal disruption of the trees and other plant life is optimal while this work is being done.



Danielle Noble  
Manager, Urban Land Use

Approved for Inclusion



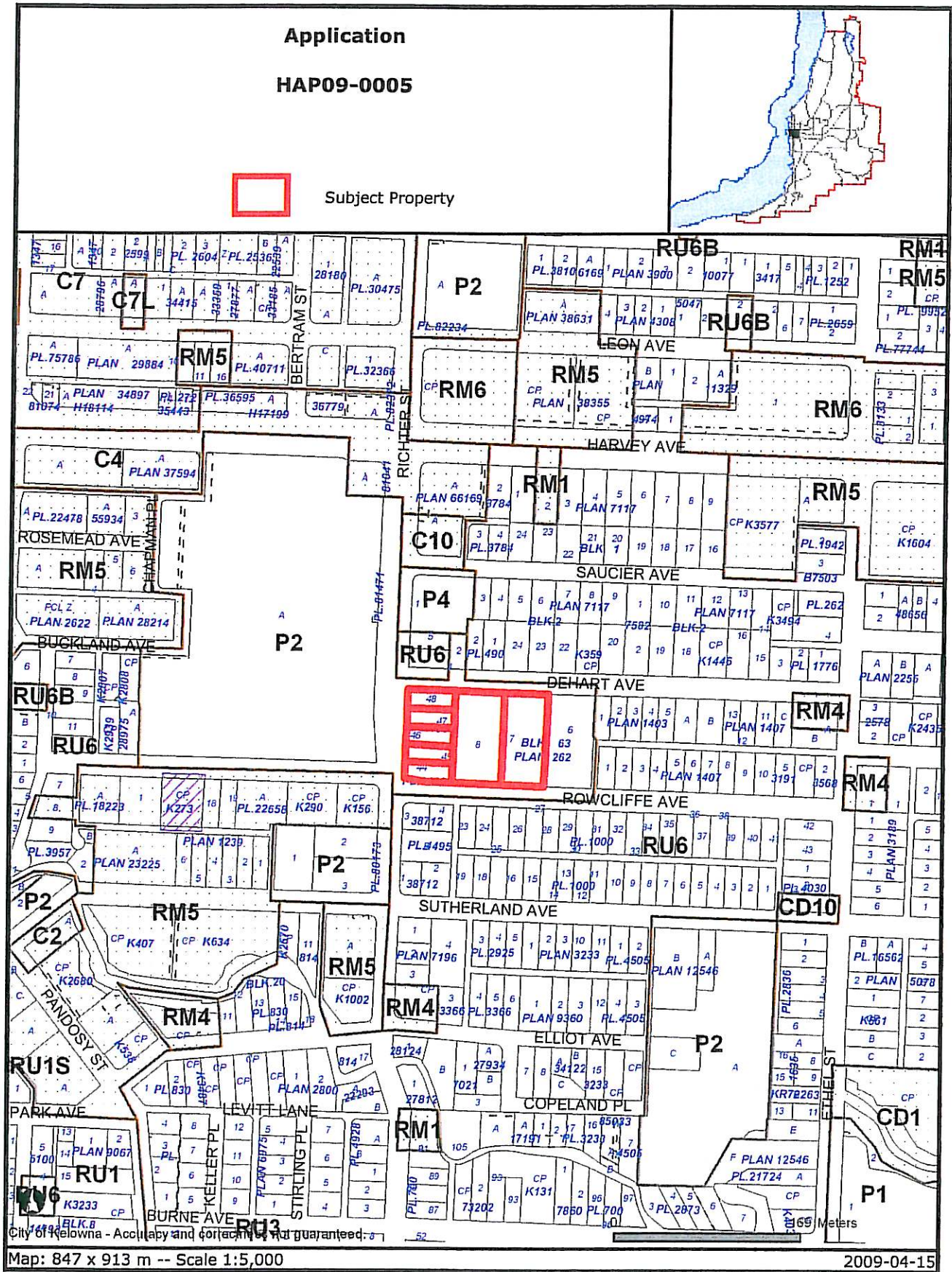
Shelley Gambacort  
Director, Land Use Management

SG/DN/aw

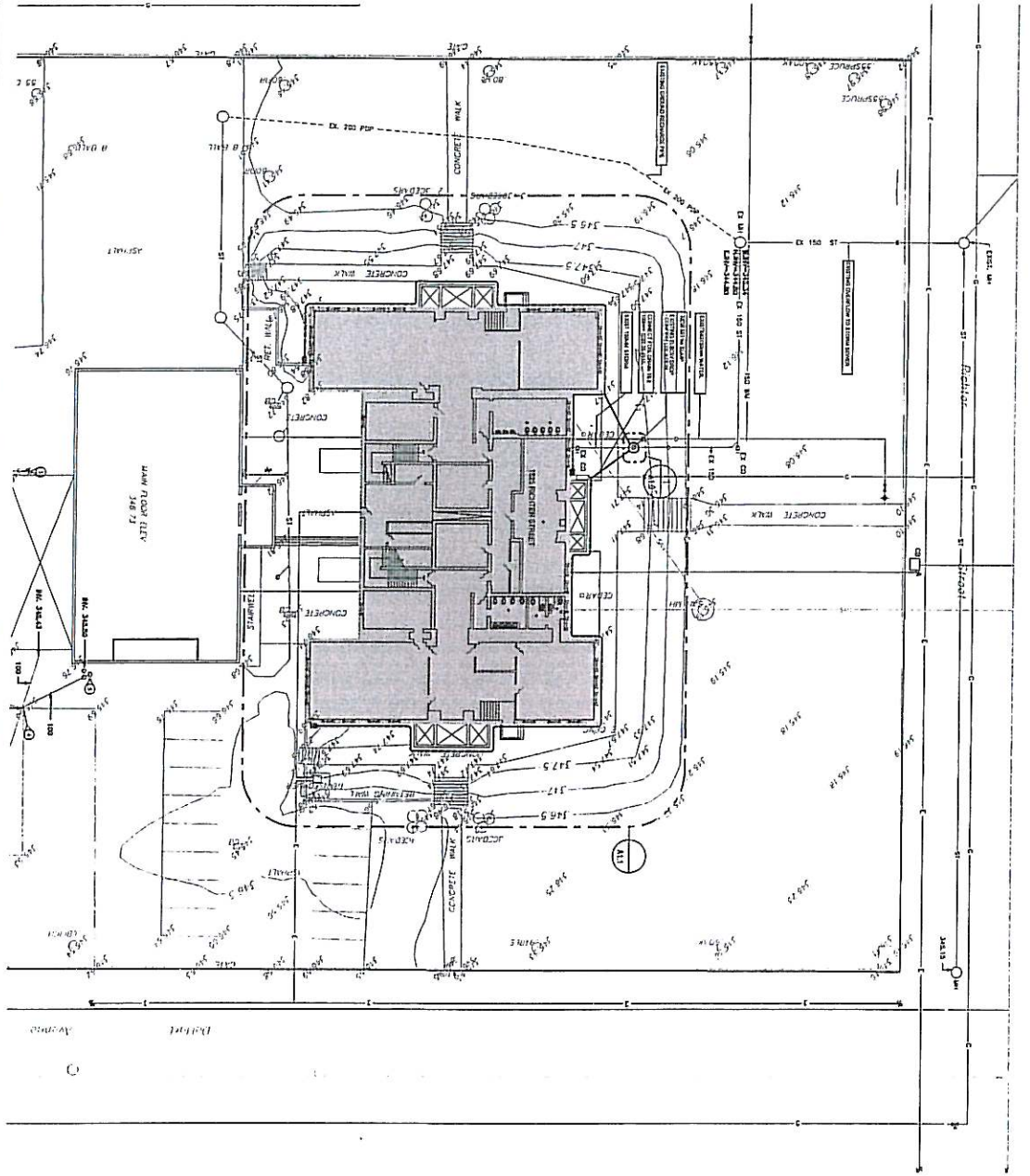
ATTACHMENTS

- Location Map
- Site plan & Elevations
- Photographs
- Heritage Register Information





Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.



hugh j bliz, architect  
 4581 Anholt Rd Kelowna BC  
 P. 250-450-9893  
 e. hughbliz@shaw.ca



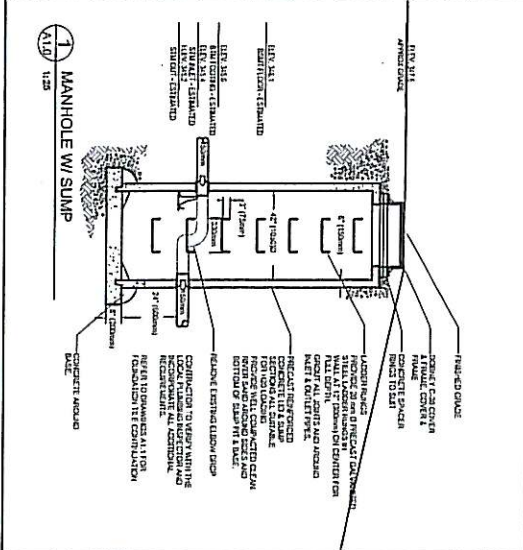
SD#23 - CENTRAL SCHOOL  
 BELOW GRADE ENVELOPE IMPROVEMENTS  
 Legal Address  
 1075 748 RD, R2022, DL 124, CD70, R2022P1, 1000, 1075 748, 45, 46, 47, 748

Site Plan  
 SITE PLAN  
 SITE CIVIL

SD# 23 - CENTRAL SCHOOL BELOW GRADE ENVELOPE IMPROVEMENTS PROJECT	
TABLE OF CONTENTS	
Drawing No.	Title
A1.0	Site Plan/Civil Plan
A1.1	Detail Plan/Sections
A2.1	Elevations

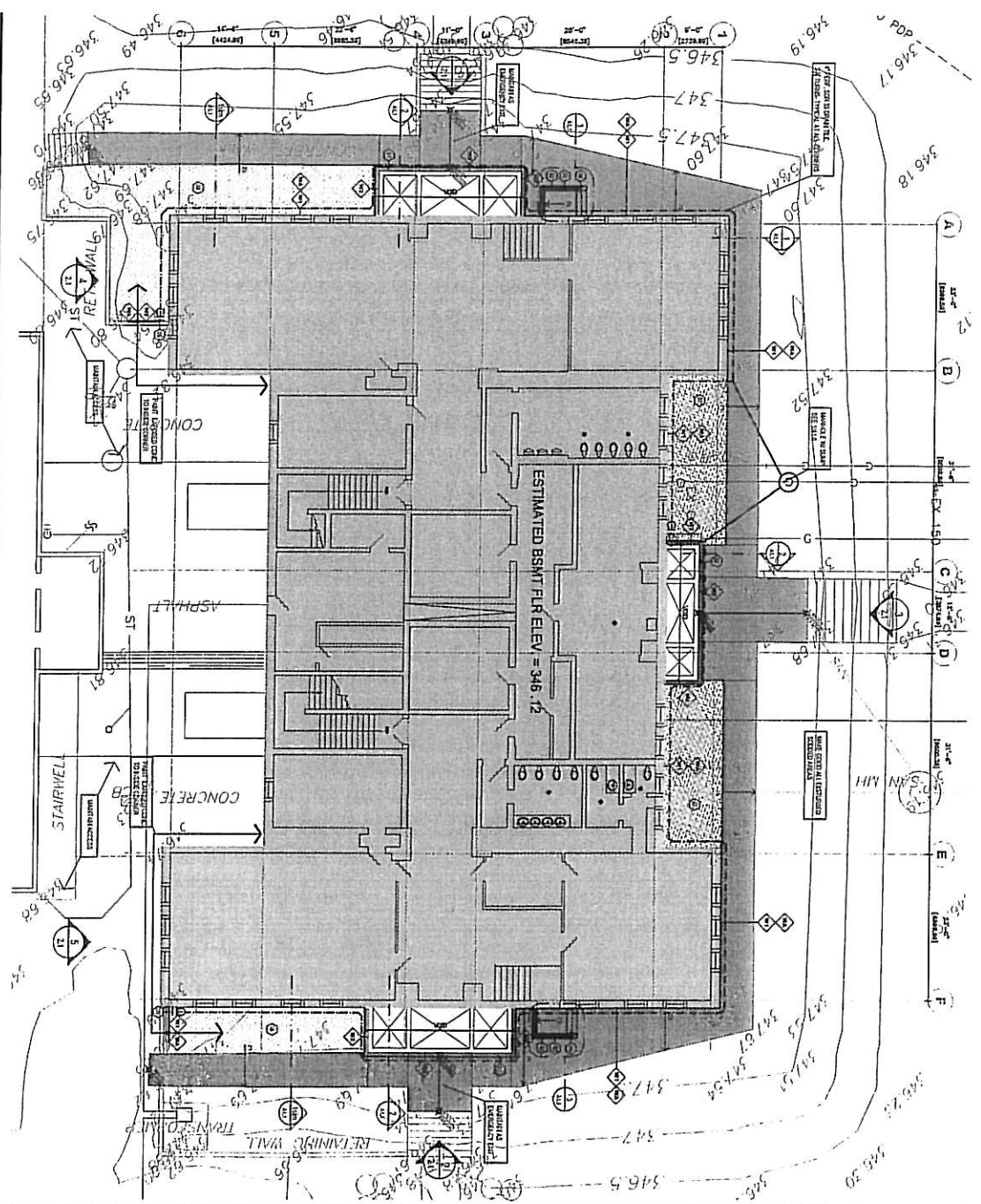
**GENERAL NOTES**

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE AND ALL APPLICABLE REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



Drawn: HJB  
 Checked: HJB  
 Date: 02/02/20  
 Scale: 1:200  
 Job No.:  
 Attention #:  
 Sheet: A1.0  
 Revision: 00

**SCHEDULE A**  
 This forms part of development  
 Permit # HAP09-0005

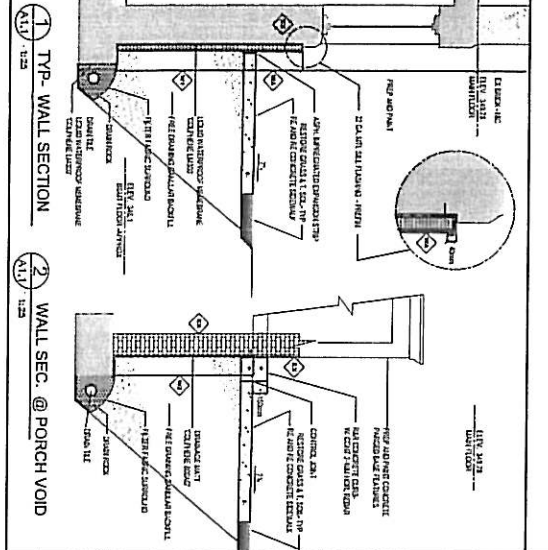
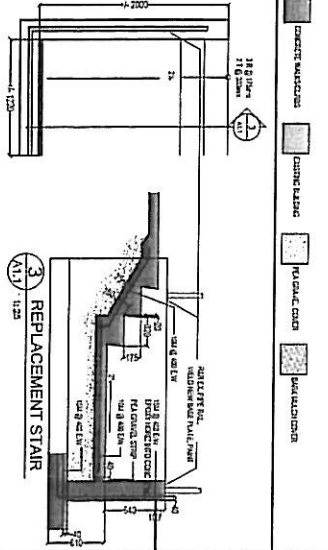


**ASSEMBLIES**

- 1. TYPE 1 - CONCRETE FLOOR ON WALL-BASED JOIST
- 2. TYPE 2 - CONCRETE FLOOR ON WALL-BASED JOIST
- 3. TYPE 3 - CONCRETE FLOOR ON WALL-BASED JOIST
- 4. TYPE 4 - CONCRETE FLOOR ON WALL-BASED JOIST
- 5. TYPE 5 - CONCRETE FLOOR ON WALL-BASED JOIST
- 6. TYPE 6 - CONCRETE FLOOR ON WALL-BASED JOIST
- 7. TYPE 7 - CONCRETE FLOOR ON WALL-BASED JOIST
- 8. TYPE 8 - CONCRETE FLOOR ON WALL-BASED JOIST
- 9. TYPE 9 - CONCRETE FLOOR ON WALL-BASED JOIST
- 10. TYPE 10 - CONCRETE FLOOR ON WALL-BASED JOIST
- 11. TYPE 11 - CONCRETE FLOOR ON WALL-BASED JOIST
- 12. TYPE 12 - CONCRETE FLOOR ON WALL-BASED JOIST

**NOTES**

1. REPLACE EXISTING CONCRETE DECK - SEE 2&11
2. REPLACE EXISTING CONCRETE FLOORING - SEE 2&11
3. REMOVE EXISTING FLOORING - SEE 2&11
4. REMOVE EXISTING FLOORING - SEE 2&11
5. REPLACE EXISTING CONCRETE FLOORING - SEE 2&11
6. REMOVE EXISTING CONCRETE FLOORING - SEE 2&11
7. REPLACE EXISTING CONCRETE FLOORING - SEE 2&11
8. REMOVE EXISTING CONCRETE FLOORING - SEE 2&11
9. REPLACE EXISTING CONCRETE FLOORING - SEE 2&11
10. REMOVE EXISTING CONCRETE FLOORING - SEE 2&11
11. REPLACE EXISTING CONCRETE FLOORING - SEE 2&11
12. REMOVE EXISTING CONCRETE FLOORING - SEE 2&11



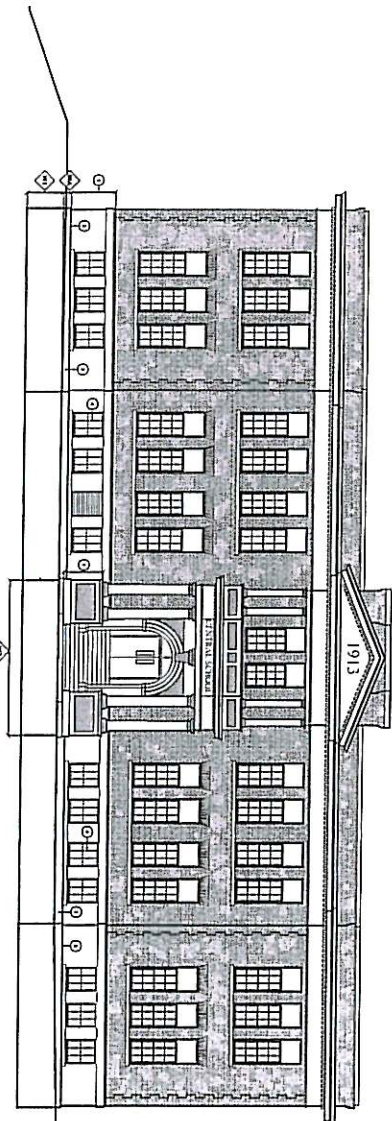
hugh j biz, architect  
 4581 Annoti Rd, Kelowna BC  
 P. 250 450 9893  
 e. hughjbiz@shaw.ca

SD#23 - CENTRAL SCHOOL  
 BELOW GRADE ENVELOPE IMPROVEMENTS  
 Job #23

DETAIL PLAN  
 DETAIL SECTIONS

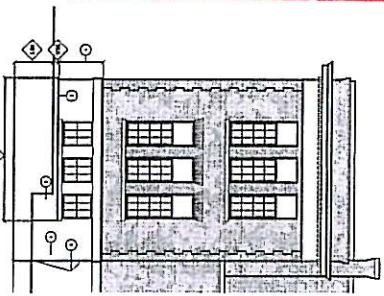
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Sheet  
**A1.1**  
 Revision: 10

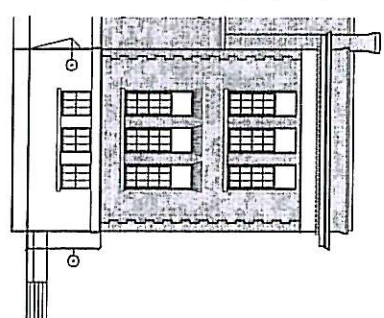


3 WEST ELEVATION  
A11/ 1/8\"/>

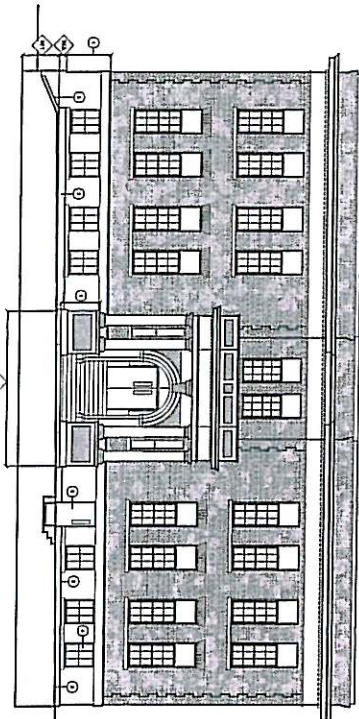
**SCHEDULE B**  
 This forms part of development  
 Permit # HAP09-0005



4 PART EAST ELEV.  
A11/ 1/8\"/>

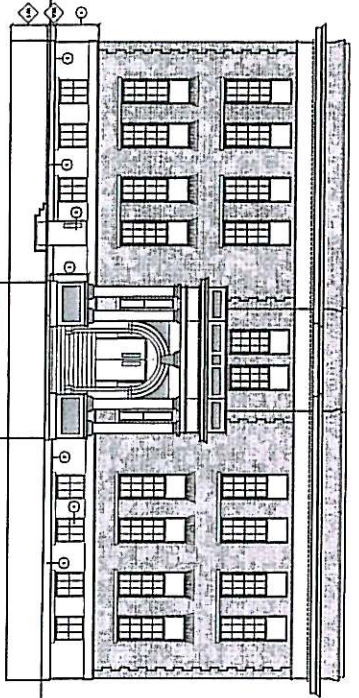


5 PART EAST ELEV.  
A11/ 1/8\"/>



2 NORTH ELEVATION  
A11/ 1/8\"/>

- MATERIALS**
- CHALKITE FULL HEIGHT
  - REFLECTED METAL FINISH
  - ASPHALT SHINGLES 15/25 - 15/25
  - ASPHALT ROOFING 15/25 - 15/25
  - TYPICAL ALUMINUM WINDOW
  - 1/2\"/>



1 SOUTH ELEVATION  
A11/ 1/8\"/>

**hugh j biz, architect**  
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 P. 250 450 9893  
 e. hughbiz@shaw.ca

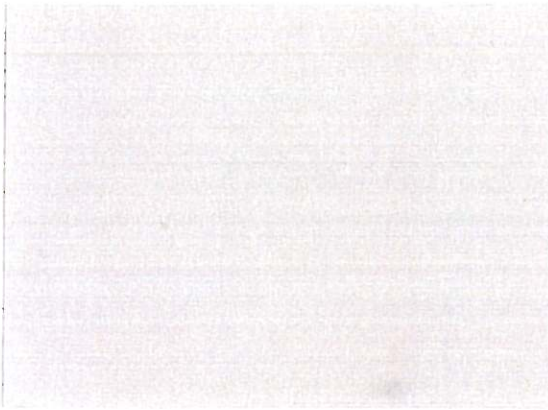
**SD#23 - CENTRAL SCHOOL  
 BELOW GRADE ENVELOPE IMPROVEMENTS**  
 Level 1/4  
 LOTS 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48

**2nd Flr  
 BUILDING ELEVATIONS**

Drawn: UAB  
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 Revision: 00

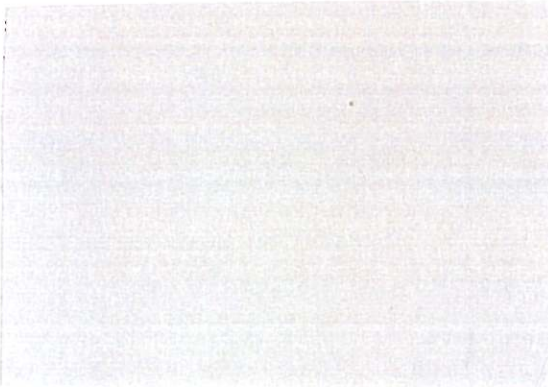




COLOUR : OKM GREY

PAINT COLOUR OF CONCRETE  
(RE. dwg A2.1 material #1)

PAINT COLOUR OF STUCCO  
(RE. dwg A2.1 material #3)



COLOUR : BONE WHITE

COLOUR OF PREFIN. MTL. FLASHING  
(RE. dwg A2.1 material #2)

\_\_\_\_\_  
Architect's signature

\_\_\_\_\_  
Reviewing party signature

Partial east (back) elevation – March 2009 ↓



Partial east (back) elevation – March 2009 ↓



Central School – South (side ) elevation – March 2009 ↓



HOME Search

## Heritage Building

### Heritage Building Information



**Kid:** [339604](#) **Plan:** 1000 **Lot:** 47 **Block:** [Map](#)  
**Civic Address:** 1825 Richter St  
**Neighbourhood:** South Central  
**Building Name:** Central Elementary School  
**Conservation Area:** no  
**Date Built:** 1913  
**Status:** Active

**Historical Significance:**

The construction of Central School was an important achievement for the community Kelowna, culminating the first phase of civic development. A large proportion of children in early Kelowna received their elementary education here.

**History:**

Built in 1913 and officially opened January 20, 1914, by Price Ellison of Vernon, Provincial Minister of Finance and Agriculture, "Central School" housed primary and elementary classes. It later became Central Elementary School, after primary classes were moved to DeHart Avenue School, built on the same grounds in 1924. It is now a French-immersion primary school.

**Architectural Significance:**

The school is the most impressive civic building of its era, and among the few large institutional buildings of this style to be built in Kelowna. The integrity of the historic and monumental elevations remains intact. Designed by G.E. Nobles.

**Style / Character:**

Formal "Beaux Arts" inspired massing and elevations, Classical treatment of detail, 2-story front porch, quoins, entablature, arched doorway, strong cornice and pediment. The masonry expresses the young city's sense of permanence and ambition.

**Design Features:**

Symmetrical front elevation 5-bay, central bay entry. Strong ground, wall, roof demarcation in the decorative elevation. Two wings extend at the rear of either end of the main block forming a 'U' plan. The Window sub-bay subdivision for the main bays are 3-4-2-4-3. The ground floor windows (basement) are smallest in proportion followed in size by the second storey and first storey (piano noble).

**Architect:**

G.E. Nobles

**Builder:**

Alfred Ivey

**Building Construction:**

brick walls and unknown frame

**Foundation Construction:**

concrete block

**Stories:**

2

**Roof Type:**

assumed flat

**Window types:**

DH 6/6, stone lintels and sills, soldier courses used in some window lintels

**Exterior Wall Material:**

red brick and stone (terra cotta?) details

**Original Wall Material:**

same

**Exterior Wall Color:**

brick red and greystone trim

**Landscape Features:**

Schoolyard with typical fields, playgrounds and landscaping

**Associated Buildings:**

DeHart Primary School on grounds (separate form);

**Alterations Documented:**

1957 addition (principal's office); 1963 extension to school; 1976 addition [STREET FILES]

**Alterations Observed:**

A gym has been added out the back as well as access ramps.

**Site Context:**

It is a very large site with another school, Kelowna Secondary, across the street. Unchanged front elevation.

**Source:**

KHRI 1983; STREET FILES; KHRI FORMS; OHS 18:102-3; OHS 28:59-61.

**Additional Notes and Comments:**

A description of the architecture may be found in the 1983 KHRI, p. 8. Additional KID Nos. : 339580, 339592, 217911, 207047, and 207050. Note that DeHart Primary is at the same address.

**Updates:**

**History Recorder Name:**

David Dendy

**Date Recorded:**

1997-09-03

**Field Recorder Name:**

Leigh-Ann Carter

**Date Recorded:**

1997-06-27

**Photographer:**

Leigh-Ann Carter

**Date Photographed:**

1997-06-27

**Photo Reference:**

CD5.88-89,

**Main Photo File:**



**Additional Photos:**



**CRHP Inventory:**

[Click Here](#)



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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** May 6, 2009  
**File No.:** HAP09-0005

**To:** Land Use Management Department (AW)

**From:** Development Engineering Manager

**Subject:** 1825 Richter Street                      Lots 44 - 48 Plan 1000                      Central School

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Development Engineering has the following comments associated with this Heritage Alteration Permit Application.

Subsurface waterproofing, drain tile installation and building exterior improvements, do not compromise our utility servicing requirements.

The submitted drawings indicate that existing services will be utilized.

Confirm that the existing 150mm diameter storm overflow service is active and free flowing. The consulting engineer or the construction contractor can contact the City Operations Department for assistance in this matter. Provide at least two full working days notice to allow Them time to schedule the required work.

A Third Party Work Order must be signed by the party responsible for payment of same prior to the City scheduling the work.

---

Steve Muenz, P. Eng.  
Development Engineering Manager  
JF/jf